



Inspection Report

Red Mountain Inspections LLC

Chad M. Allen - AL HI-4007

504 Cattail Circle

Gardendale, AL 35071

205-607-2082

Thanks for choosing Red Mountain Inspections to provide your inspection services; we genuinely appreciate your business. We have worked hard to inspect and evaluate your real estate investment and produce a comprehensive inspection report. Your report will help identify any safety concerns, defects, or maintenance needs to help you make informed decisions and prioritize repairs. Remember, we are here for you and happy to help. Please feel free to call us directly with any questions or if there is anything else we can do to assist.



REPORT PREPARED FOR:

Owrfamlez Groen

INSPECTED PROPERTY ADDRESS:

2013 Red Mountain Road

Trussville AL 35173

COPYRIGHT STATEMENT

Red Mountain Inspections respects the rights of all copyright holders. Consequently, all works in this document do so with the copyright holder's consent. No image or information displayed in this document may be reproduced, transmitted, or copied (other than for the purposes of fair dealing, as defined in the Copyright Act 1968) without the express written permission of Red Mountain Inspections.

Table of Contents

[Cover Page.....1](#)

[Table of Contents.....2](#)

[Intro Page3](#)

[1 Roof4](#)

[2 Exterior.....8](#)

[3 Foundation16](#)

[4 HVAC17](#)

[5 Plumbing21](#)

[6 Electrical27](#)

[7 Fireplace33](#)

[8 Interior.....34](#)

[9 Insulation.....38](#)

[10 Garage.....41](#)

[11 Appliances.....43](#)

[12 Lawn Sprinklers44](#)

[Invoice.....45](#)

RED MOUNTAIN
INSPECTIONS

205-607-2082

REDMOUNTAININSPECTIONS.COM

f i / RMIBHAM

Date: 10/10/2022	Time: 08:00 AM	Report ID:
Property: 2013 Red Mountain Road Trussville AL 35173	Customer: Owrfamlez Groen	Real Estate Professional: Worken Tufindurhome

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Repair (RE) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Age Of Home:

14 Years

Approximate Square Footage::

3200

Occupancy::

The home was occupied

Attending the Inspection::

Buyer

Weather:

Sunny

Temperature:

Below 65 (F), Over 65 (F)

Rain in last 3 days:

No

Ground/Soil surface condition:

Dry

**RED MOUNTAIN
INSPECTIONS**

205-607-2082

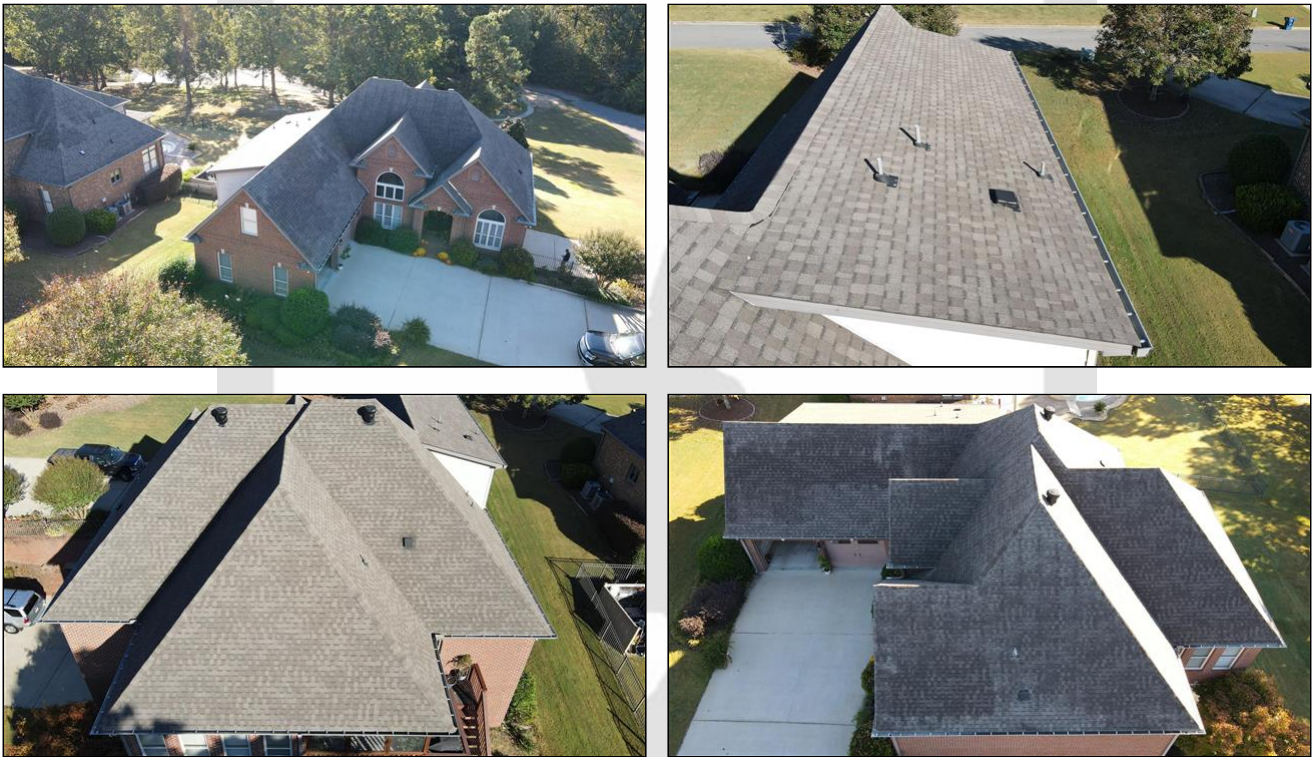
REDMOUNTAININSPECTIONS.COM

f i / RMIBHAM

1. Roof

The inspector shall inspect from ground level or eaves: The roof covering. The gutters. The downspouts. The vents, flashings, skylights, chimney and other roof penetrations. The general structure of the roof from the readily accessible panels, doors or stairs.

The inspector is not required to: Walk on any roof surface, predict the service life expectancy, inspect underground downspout diverter drainage pipes, remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces, inspect antennae, lightning arresters, or similar attachments.



Styles & Materials

Roof Covering: Architectural Fiberglass Asphalt Shingle	Drainage system description:: Gutters and downspouts installed	Viewed roof covering from: The roof surface (walked/climbed) The ground A ladder
Roof Structure: Conventional Framing Stick-built 2 X 6 Rafters Sheathing	Method used to observe attic: Inside the attic	Roof-Type: Gable Shed
Attic info: Walk In Attic		

		IN	NI	NP	RE
1.0	ROOF COVERING(S)				•
1.1	FLASHING(S)	•			
1.2	ROOF PENETRATIONS, SKYLIGHTS & CHIMNEYS	•			
1.3	ROOF DRAINAGE SYSTEMS	•			
1.4	ROOF STRUCTURE & ATTIC	•			
1.5	GENERAL INFORMATION	•			
		IN	NI	NP	RE

IN= Inspected, NI= Not Inspected, NP= Not Present, RE= Repair

Comments:

1.0 Condition(s) observed with Roof Covering(s):

The inspector observed several damaged shingles at the right slope of the home that appears as result of manufacturer defect. This condition should be evaluated further and corrections performed as needed.



1.0 Item 1(Picture)



1.0 Item 2(Picture)

1.3 Condition(s) observed with the Roof Drainage Systems:

At least one downspout has become detached from the existing below grade drain line / extension tube which will need to be corrected.

Downspout extenders should be installed as to discharge water away from the foundation.



1.3 Item 1(Picture)



1.3 Item 2(Picture)



1.3 Item 3(Picture)

RED MOUNTAIN INSPECTIONS

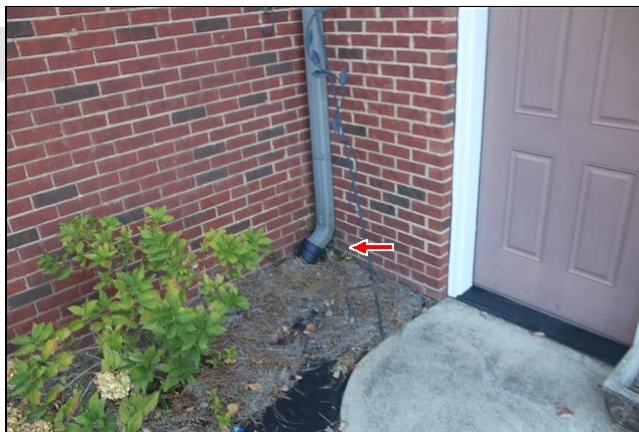
205-607-2082

REDMOUNTAININSPECTIONS.COM

f i / RMIBHAM

1.5 Condition(s) observed with the Roof Drainage Systems:

Observed below grade drain lines for the downspouts, I am unable to determine if these below grade drains will function properly. Recommend testing these lines to ensure water is draining freely and away from the home.



1.5 Item 1(Picture)

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items identified in this report should be considered or repaired before purchase. **Recommendation:** A qualified contractor should inspect further and make corrections to item(s) identified in this inspection report as well as any other related condition discovered while performing repairs.

**RED MOUNTAIN
INSPECTIONS**

205-607-2082

REDMOUNTAININSPECTIONS.COM

f i / RMIBHAM

2. Exterior

The inspector shall inspect: The siding, flashing and trim. All exterior doors, decks, stoops, steps, stairs, porches, railings, eaves, soffits and fascias. And report as in need of repair any spacing between intermediate balusters, spindles, or rails for steps, stairways, balconies, and railings that permit the passage of an object greater than four inches in diameter. A representative number of windows. The vegetation, surface drainage and retaining walls when these are likely to adversely affect the structure. And describe the exterior wall covering.

The inspector is not required to: Inspect or operate screens, storm windows, shutters, awnings, fences, outbuildings, or exterior accent lighting, Inspect items, including window and door flashings, which are not visible or readily accessible from the ground, Inspect geological, geotechnical, hydrological and/or soil conditions, Inspect recreational facilities, Inspect seawalls, break-walls and docks, Inspect erosion control and earth stabilization measures, Inspect for safety type glass, Inspect underground utilities, Inspect underground items, Inspect wells or springs, Inspect solar systems, Inspect swimming pools or spas, Inspect septic systems or cesspools, Inspect playground equipment, Inspect sprinkler systems, Inspect drain fields or drywells, Determine the integrity of the thermal window seals or damaged glass.



Styles & Materials

Siding Material:

Brick
Vinyl

Siding Style:

Brick
Lap

Exterior Entry Doors:

Steel
Wood
Insulated glass

Appurtenance:

Covered Deck
Covered Entry
Covered Patio
Sidewalk
Steps

Driveway:

Concrete

RED MOUNTAIN
INSPECTIONS

205-607-2082

REDMOUNTAININSPECTIONS.COM

  / RMIBHAM

		IN	NI	NP	RE
2.0	SIDING, FLASHING & TRIM	•			
2.1	EAVES, SOFFITS & FASCIAS	•			
2.2	DOORS (Exterior)	•			
2.3	WINDOWS (Exterior)	•			
2.4	DECKS, BALCONIES, STOOPS, STEPS, PORCHES, PATIO/ COVER & APPLICABLE RAILINGS				•
2.5	VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS & RETAINING WALLS	•			
2.6	ADDITIONAL BUILDINGS ON PROPERTY		•		
2.7	GENERAL INFORMATION	•			
		IN	NI	NP	RE

IN= Inspected, NI= Not Inspected, NP= Not Present, RE= Repair

Comments:

2.0 Condition(s) observed with the Siding, Flashing & Trim:

Where a pipe/wire penetrates an exterior wall, a waterproof seal shall be made on the exterior of the wall by a waterproof sealant applied at the joint between the wall and the pipe/wire or flashing of an approved elastomeric material.



2.0 Item 1(Picture)



2.0 Item 2(Picture)

205-607-2082

REDMOUNTAININSPECTIONS.COM

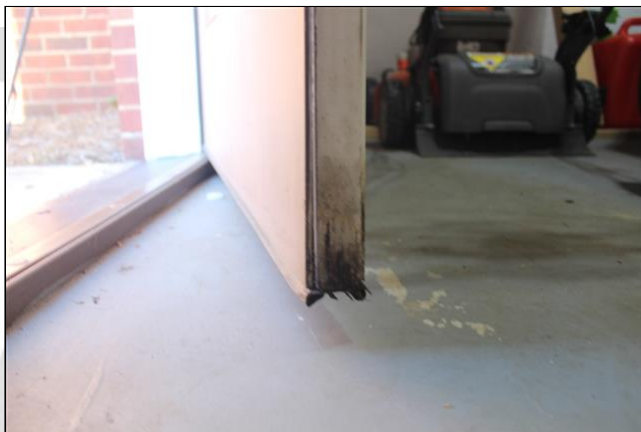
f i / RMIBHAM

2.2 Condition(s) observed with Doors (Exterior):

General maintenance of door paint and caulk is needed at exterior side of door(s). Minor deterioration observed at the garage egress door to the driveway.



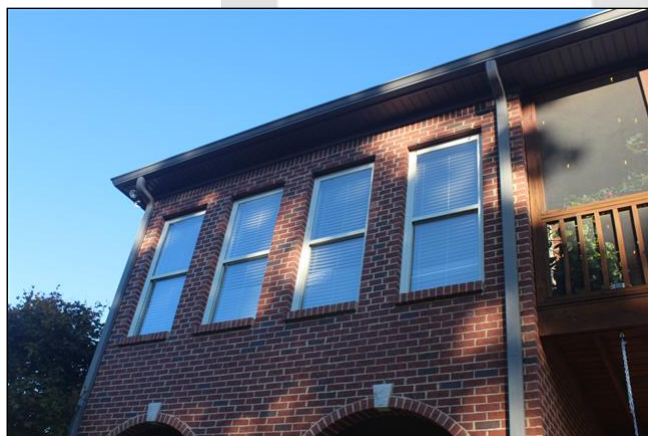
2.2 Item 1(Picture)



2.2 Item 2(Picture)

2.3 Condition(s) observed with Windows (Exterior):

General maintenance of window caulking is needed at the exterior side of window(s) where caulking has begun to fail.



2.3 Item 1(Picture)



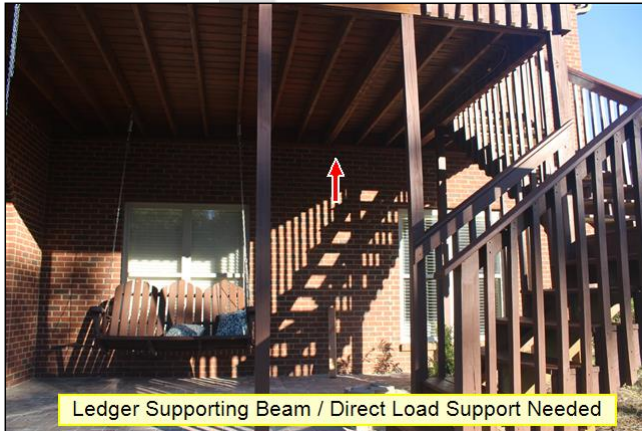
2.3 Item 2(Picture)



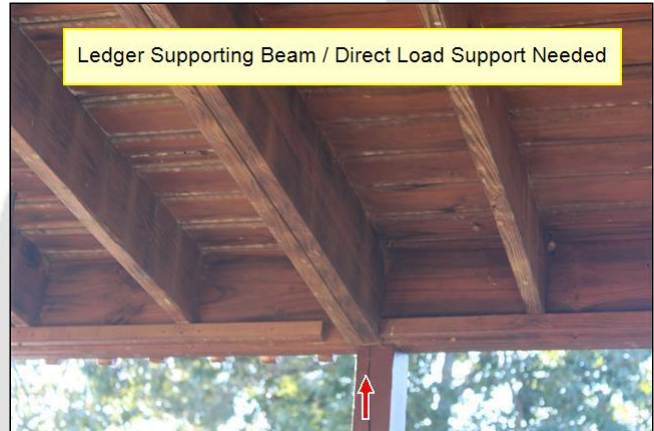
2.3 Item 3(Picture)

2.4 Condition(s) observed with Decks, Balconies, Stoops, Steps, Porches, Patio/Cover & Applicable Railings:

- Deck ledgers shall not support concentrated loads from beams or girders.
- Missing joist hangers will need to be installed where joists end into rim joist.
- The maximum span of 6.0' for cut stringers has been exceeded. Inspector recommends installing a rigid beam at mid span to add support to the structure.
- Damaged stringer should be repaired or replaced.
- Loose stair treads will need to be secured, nails which have backed out should be set.
- Deteriorated or damaged stair treads will need to be replaced.



2.4 Item 1(Picture)



2.4 Item 2(Picture)



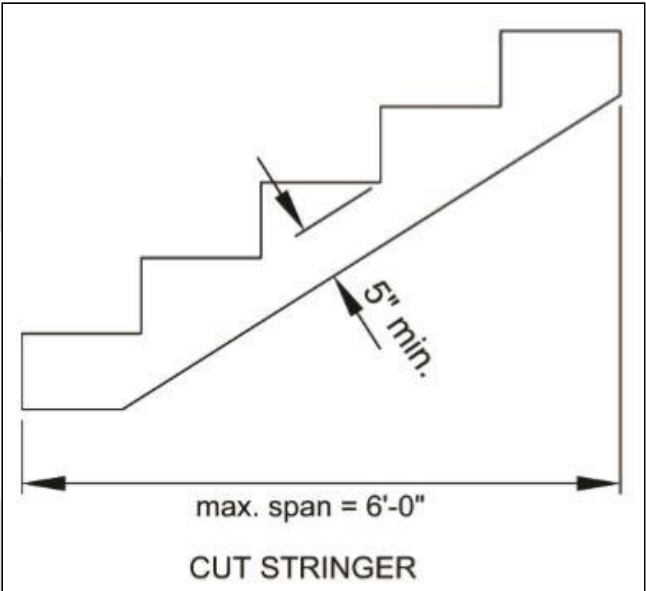
2.4 Item 3(Picture)



2.4 Item 4(Picture)



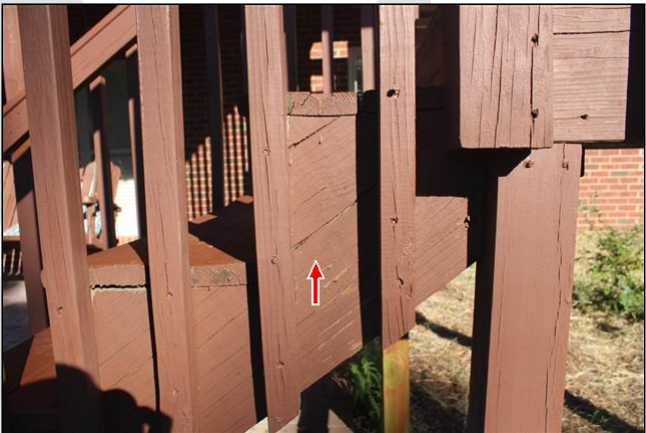
2.4 Item 5(Picture)



2.4 Item 6(Picture)



2.4 Item 7(Picture)



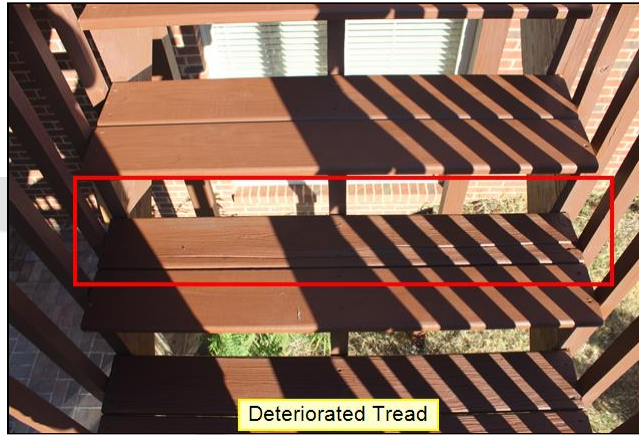
2.4 Item 8(Picture)



2.4 Item 9(Picture)



2.4 Item 10(Picture)



2.4 Item 11(Picture)

2.5 Condition(s) observed at Vegetation, Grading, Drainage, Driveways, Patio Floor, Walkways & Retaining Walls:

There is pitting against the home at the front. This area does not appear to drain water away from home and needs landscaping and drainage corrected.



2.5 Item 1(Picture)

2.6 Condition(s) observed at Additional Buildings on the Property:

I did not inspect any additional structures; I only inspected the main structure. Deficiencies may exist with these structures or buildings. Our company makes no representation to the condition of these structures or buildings.



2.6 Item 1(Picture)

2.7 (1) Observed minor cracking in the driveway slabs at the exterior, however we did not observe any concerns associated with these cracks at time of inspection.

2.7 (2) Observed a few areas of cracking in the mortar at the brick veneer, however we did not observe any structural concerns associated with these cracks at time of inspection.



2.7 Item 1(Picture)



2.7 Item 2(Picture)

205-607-2082

REDMOUNTAININSPECTIONS.COM

f / RMIBHAM



2.7 Item 3(Picture)



2.7 Item 4(Picture)

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items identified in this report should be considered or repaired before purchase. **Recommendation:** A qualified contractor should inspect further and make corrections to item(s) identified in this inspection report as well as any other related condition discovered while performing repairs.

RED MOUNTAIN
INSPECTIONS

205-607-2082

REDMOUNTAININSPECTIONS.COM

f i / RMIBHAM

3. Foundation

The inspector shall inspect: The basement. The foundation. The crawlspace. The visible structural components. Any present conditions or clear indications of active water penetration observed by the inspector. And report any general indications of foundation movement that are observed by the inspector, such as but not limited to sheetrock cracks, brick cracks, out-of-square door frames or floor slopes.

The inspector is not required to: Enter any crawlspaces that are not readily accessible or where entry could cause damage or pose a hazard to the inspector, Move stored items or debris, Operate sump pumps with inaccessible floats, Identify size, spacing, span, location or determine adequacy of foundation bolting, bracing, joists, joist spans or support systems, Provide any engineering or architectural service, Report on the adequacy of any structural system or component.

Styles & Materials

Foundation:

Poured Concrete Walls

Method used to observe Crawlspace:

No crawlspace

Floor Structure:

Wood joists

LVL Beams

Wall Structure:

Wood

Columns or Piers:

Steel Lally Columns

Ceiling Structure:

Wood Joists

LVL Beam(s)

		IN	NI	NP	RE
3.0	FOUNDATIONS, BASEMENTS AND CRAWLSPACES (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)	•			
3.1	WALLS (Structural)	•			
3.2	COLUMNS OR PIERS	•			
3.3	FLOORS (Structural)	•			
3.4	CEILINGS (Structural)	•			
		IN	NI	NP	RE

IN= Inspected, NI= Not Inspected, NP= Not Present, RE= Repair

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items identified in this report should be considered or repaired before purchase. **Recommendation:** A qualified contractor should inspect further and make corrections to item(s) identified in this inspection report as well as any other related condition discovered while performing repairs.

4. HVAC

The inspector shall inspect: The heating system and describe the energy source and heating method using normal operating controls. And report as in need of repair electric furnaces which do not operate. And report if inspector deemed the furnace inaccessible. The central cooling equipment using normal operating controls.

The inspector is not required to: Inspect or evaluate interiors of flues or chimneys, fire chambers, heat exchangers, humidifiers, dehumidifiers, electronic air filters, solar heating systems, solar heating systems or fuel tanks. Inspect underground fuel tanks. Determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the heating system. Light or ignite pilot flames. Activate heating, heat pump systems, or other heating systems when ambient temperatures or when other circumstances are not conducive to safe operation or may damage the equipment. Override electronic thermostats. Evaluate fuel quality. Verify thermostat calibration, heat anticipation or automatic setbacks, timers, programs or clocks. Determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the cooling system. Inspect window units, through-wall units, or electronic air filters. Operate equipment or systems if exterior temperature is below 60 degrees Fahrenheit or when other circumstances are not conducive to safe operation or may damage the equipment. Inspect or determine thermostat calibration, heat anticipation or automatic setbacks or clocks. Examine electrical current, coolant fluids or gasses, or coolant leakage.



Styles & Materials

Heating Equipment Type:

Gas Fired Furnace (Forced Air)
Gas Fireplace

Heating Equipment Energy Source:

Natural gas

Number of Heat Systems (Excluding Wood):

2

Heat System Manufacturer:

GOODMAN

Age of Heating System:

14 Years

Ductwork:

Insulated

Filter Type:

Disposable

Cooling Equipment Type:

Air Conditioner Unit

Cooling Equipment Energy Source:

Electricity

Number of Cooling Systems:

1

Cooling System Manufacturer:

GOODMAN

Age of Cooling System:

14 Years

Humidifier:

Not Present

Air Purifier:

Not Present

Dehumidifier:

Present in Garage
Should be used and maintained

		IN	NI	NP	RE
4.0	HEATING EQUIPMENT	•			
4.1	NORMAL OPERATING CONTROLS	•			
4.2	AUTOMATIC SAFETY CONTROLS	•			
4.3	DISTRIBUTION SYSTEMS (including fans, pumps, ducts, piping, supports, insulation, air filters, registers, humidifiers)	•			
4.4	PRESENCE OF INSTALLED HEAT/COOLING SOURCE IN EACH ROOM	•			
4.5	FLUES AND VENTS (Heat Systems)	•			
4.6	FILTER LOCATION	•			
4.7	COOLING AND AIR HANDLER EQUIPMENT				•
4.8	GENERAL INFORMATION	•			
		IN	NI	NP	RE

IN= Inspected, NI= Not Inspected, NP= Not Present, RE= Repair

Comments:

4.3 Condition(s) observed with the Distribution Systems:

Refrigerant Line Insulation was observed to be missing / damaged which should be replaced as to prevent condensation and improve energy efficiency.



4.3 Item 1(Picture)

205-607-2082

REDMOUNTAININSPECTIONS.COM

f / RMIBHAM

4.6 The filter is located at the unit in the garage.

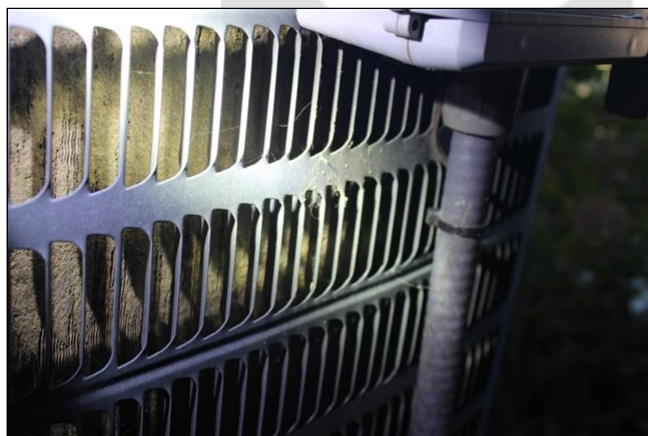


4.6 Item 1(Picture)

4.7 Condition(s) observed with the Cooling & Air Handler Equipment:

A 21 degree delta on the cooling system indicates the unit is cooling properly and the range in temperature drop is normal.

Heating and Cooling systems should be serviced yearly by a certified HVAC Technician. The coils were observed to be partially clogged at time of inspection which indicates it is time to have the unit serviced. Recommend having the HVAC System serviced by a qualified contractor within the next 30 days.



4.7 Item 1(Picture)

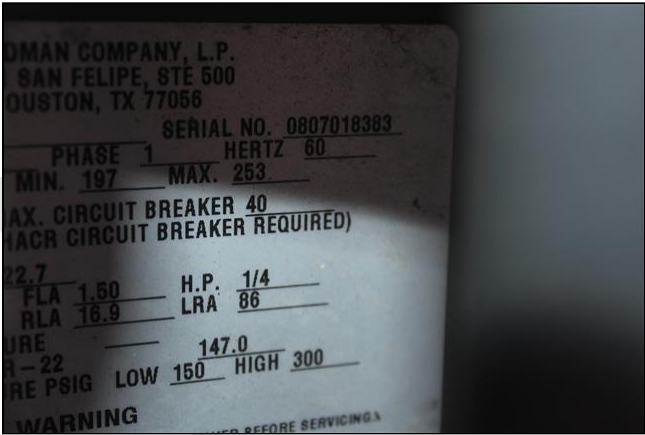


4.7 Item 2(Picture)

205-607-2082

REDMOUNTAININSPECTIONS.COM

f / RMIBHAM



4.7 Item 3(Picture)

4.8 Condition(s) observed with the HVAC Systems:

The inspector observed a secondary / non-operational Ducane AC unit sitting beside the primary AC unit outside. This system is old and has not been connected to the home; this info provided for your reference.



4.8 Item 1(Picture)



4.8 Item 2(Picture)

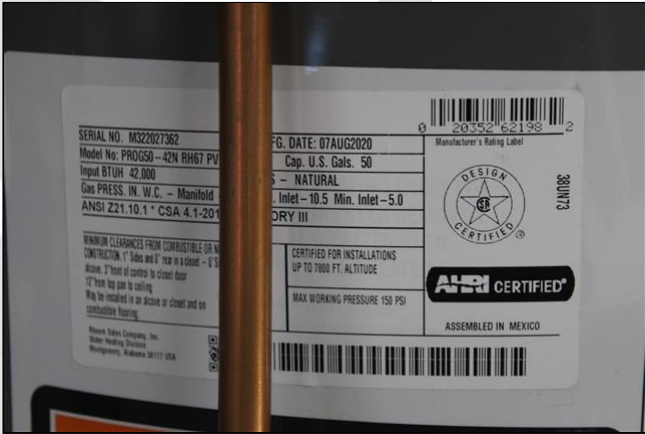
The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items identified in this report should be considered or repaired before purchase. **Recommendation:** A qualified contractor should inspect further and make corrections to item(s) identified in this inspection report as well as any other related condition discovered while performing repairs.

205-607-2082
REDMOUNTAININSPECTIONS.COM
f / RMIBHAM

5. Plumbing

The inspector shall: Verify the presence of and identify the location of the main water shutoff valve. Inspect the water heating equipment, including combustion air, venting, connections, energy sources, seismic bracing, and verify the presence or absence of temperature-pressure relief valves and/or Watts 210 valves. Flush toilets. Run water in sinks, tubs, and showers. Inspect the interior water supply including all fixtures and faucets. Inspect the drain, waste and vent systems, including all fixtures. Describe any visible fuel storage systems. Inspect the drainage sump pumps testing sumps with accessible floats. Inspect and describe the water supply, drain, waste and main fuel shut-off valves, as well as the location of the water main and main fuel shut-off valves. Inspect and determine if the water supply is public or private. Inspect and report as in need of repair deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously. Inspect and report as in need of repair deficiencies in installation and identification of hot and cold faucets. Inspect and report as in need of repair mechanical drain-stops that are missing or do not operate if installed in sinks, lavatories and tubs. Inspect and report as in need of repair commodes that have cracks in the ceramic material, are improperly mounted on the floor, leak, or have tank components which do not operate.

The inspector is not required to: Light or ignite pilot flames. Determine the size, temperature, age, life expectancy or adequacy of the water heater. Inspect interiors of flues or chimneys, water softening or filtering systems, well pumps or tanks, safety or shut-of valves, floor drains, lawn sprinkler systems or fire sprinkler systems. Determine the exact flow rate, volume, pressure, temperature, or adequacy of the water supply. Determine the water quality or potability or the reliability of the water supply or source. Open sealed plumbing access panels. Inspect clothes washing machines or their connections. Operate any main, branch or fixture valve. Test shower pans, tub and shower surrounds or enclosures for leakage. Evaluate the compliance with local or state conservation or energy standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping. Determine the effectiveness of anti-siphon, back-flow prevention or drain-stop devices. Determine whether there are sufficient clean-outs for effective cleaning of drains. Evaluate gas, liquid propane or oil storage tanks. Inspect any private sewage waste disposal system or component of. Inspect water treatment systems or water filters. Inspect water storage tanks, pressure pumps or bladder tanks. Evaluate time to obtain hot water at fixtures, or perform testing of any kind to water heater elements. Evaluate or determine the adequacy of combustion air. Test, operate, open or close safety controls, manual stop valves and/or temperature or pressure relief valves. Examine ancillary systems or components, such as, but not limited to, those relating to solar water heating, hot water circulation.



Styles & Materials

Water Source: Public	Plumbing Water Supply (into home): Copper	Plumbing Water Distribution (inside home): Copper
Plumbing Waste: PVC	Water Heater Manufacturer: RHEEM	Water Heating Equipment Type: Conventional Storage Natural Gas
Water Heater Capacity: 50 Gallon	Water Heater Age: 2 Years	Water Heater Location: Garage

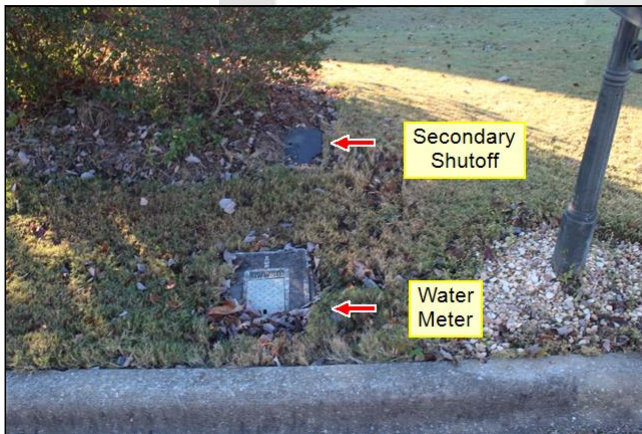
		IN	NI	NP	RE
5.0	MAIN WATER SHUT-OFF DEVICE (Describe location)	•			
5.1	PLUMBING DRAIN, WASTE & VENT SYSTEMS				•
5.2	PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS & FIXTURES				•
5.3	HOT WATER SYSTEMS, CONTROLS, FLUES & VENTS	•			
5.4	FUEL STORAGE & DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)	•			
5.5	MAIN FUEL SHUT OFF (Describe Location)	•			
		IN	NI	NP	RE

IN= Inspected, NI= Not Inspected, NP= Not Present, RE= Repair

Comments:

5.0 Condition(s) observed with Main Water Shut-Off Device:

The main shut off is located outside in the ground at the water meter. Also there is a main shut off in the garage where the main water line enters the home.



5.0 Item 1(Picture)



5.0 Item 2(Picture)



5.0 Item 3(Picture)




5.0 Item 4(Picture)

5.1 (1) Condition(s) observed with Plumbing Drain, Waste & Vent Systems:

The right side Primary Bath sink was partially clogged which will need to be cleared as to drain properly.

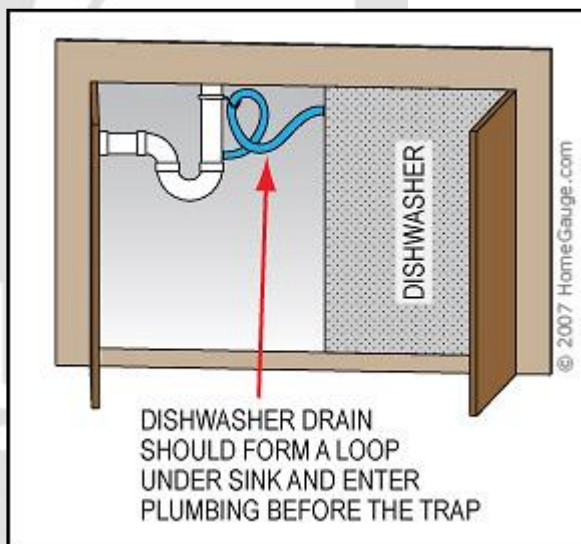


5.1 Item 1(Picture)

 **5.1 (2)** In the diagram pictured, you'll notice that the dishwasher drain makes a high loop underneath the kitchen sink. This is the minimum requirement for every dishwasher drain installation; it's required by every dishwasher manufacturer. A high loop should be created on this drain line for proper installation and operation of the dishwasher.



5.1 Item 2(Picture)



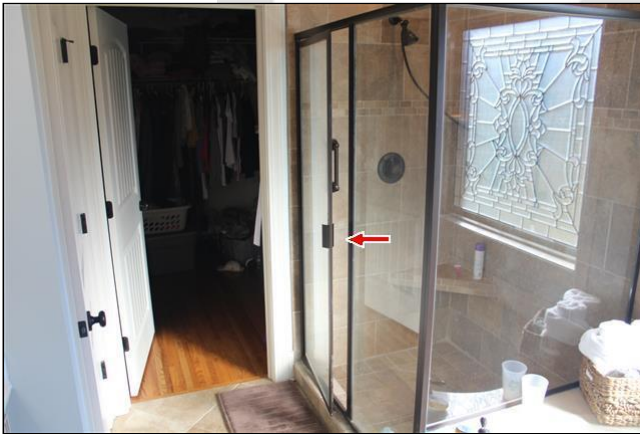
5.1 Item 3(Picture)

5.2 (1) Condition(s) observed with Plumbing Water Supply & Distribution Systems & Fixtures:

The hose bibb at the exterior was observed to have a bad seal at time of inspection. A new seal will likely correct this issue.




5.2 Item 1(Picture)

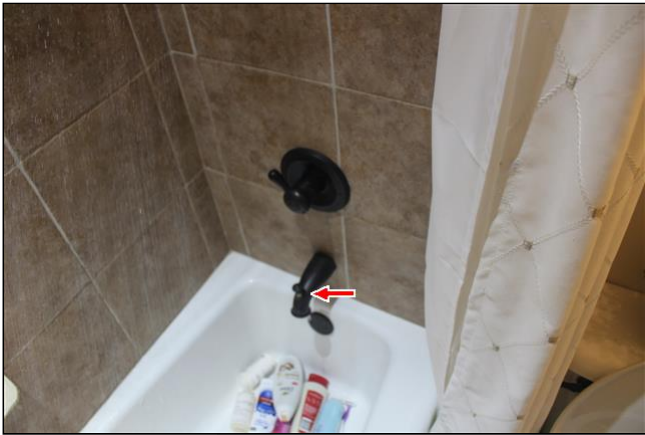
5.2 (2) The primary bath shower door needs strike/latch/hinge adjustments as to shut/latch properly. The door handle is loose which should be secured when performing repairs.

5.2 Item 2(Picture)



5.2 Item 3(Picture)

 **5.2 (3)** The seal for the shower diverter valve at the hall and basement bathtubs have failed.



5.2 Item 4(Picture)



5.2 Item 5(Picture)



5.2 Item 6(Picture)



5.2 Item 7(Picture)

 **5.2 (4)** The toilet runs continuously at the Basement Bath which will need correction.



5.2 Item 8(Picture)

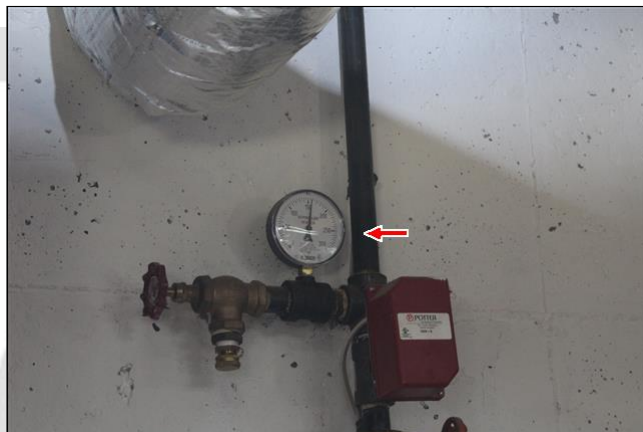


5.2 Item 9(Picture)

5.2 (5) Although NFPA 13D does not require garages to have sprinklers installed, some authorities having jurisdiction take it upon themselves to add this requirement locally. We were not able to test the fire sprinkler system, however we did confirm the unit to be under pressure via the in line pressure gauge installed. Inspector recommends further evaluation and routine maintenance of the sprinkler system by a licensed sprinkler installer.



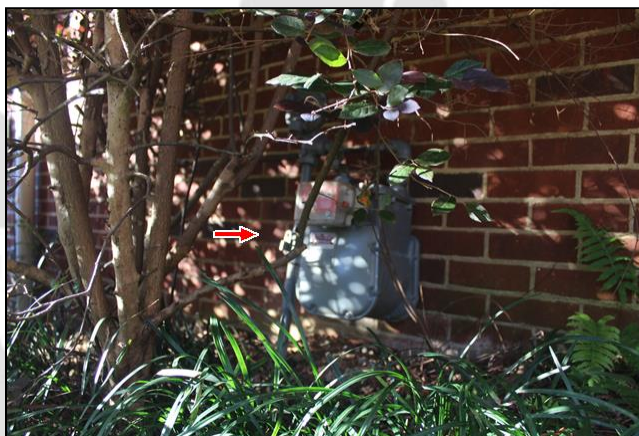
5.2 Item 10(Picture)



5.2 Item 11(Picture)

5.5 Condition(s) observed with Main Fuel Shut-Off:

The main fuel shut off is at the gas meter outside.



5.5 Item 1(Picture)

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items identified in this report should be considered or repaired before purchase. **Recommendation:** A qualified contractor should inspect further and make corrections to item(s) identified in this inspection report as well as any other related condition discovered while performing repairs.



6. Electrical

The inspector shall inspect: The service line. The meter box. The main disconnect. And determine the rating of the service amperage. Panels, breakers and fuses. The service grounding and bonding. A representative sampling of switches, receptacles, light fixtures, AFCI receptacles and test all GFCI receptacles and GFCI circuit breakers observed and deemed to be GFCI's during the inspection. And report the presence of solid conductor aluminum branch circuit wiring if readily visible. And report on any GFCI-tested receptacles in which power is not present, polarity is incorrect, the receptacle is not grounded, is not secured to the wall, the cover is not in place, the ground fault circuit interrupter devices are not properly installed or do not operate properly, or evidence of arcing or excessive heat is present. The service entrance conductors and the condition of their sheathing. The ground fault circuit interrupters observed and deemed to be GFCI's during the inspection with a GFCI tester. And describe the amperage rating of the service. And report the absence of smoke detectors. Service entrance cables and report as in need of repair deficiencies in the integrity of the insulation, drip loop, or separation of conductors at weatherheads and clearances.

The inspector is not required to: Insert any tool, probe or device into the main panel, sub-panels, downstream panel, or electrical fixtures. Operate electrical systems that are shut down. Remove panel covers or dead front covers if not readily accessible. Operate over current protection devices. Operate non-accessible smoke detectors. Measure or determine the amperage or voltage of the main service if not visibly labeled. Inspect the alarm system and components. Inspect the ancillary wiring or remote control devices. Activate any electrical systems or branch circuits which are not energized. Operate overload devices. Inspect low voltage systems, electrical de-icing tapes, swimming pool wiring or any time-controlled devices. Verify the continuity of the connected service ground. Inspect private or emergency electrical supply sources, including but not limited to generators, windmills, photovoltaic solar collectors, or battery or electrical storage facility. Inspect spark or lightning arrestors. Conduct voltage drop calculations. Determine the accuracy of breaker labeling.

Styles & Materials

Electrical Service Conductors:

Overhead Service

Electric Panel Manufacturer:

General Electric

Panel Type:

Circuit Breakers

Panel Capacity:

200 AMP

Wiring Methods:

Type-NM

Branch Wire 15 and 20 AMP:

Copper

Generator:

Not Present

		IN	NI	NP	RE
6.0	SERVICE ENTRANCE LINES & FEEDERS				•
6.1	METER BOX, MAIN DISCONNECT, SERVICE GROUNDING/BONDING, MAIN & DISTRIBUTION PANEL(S)	•			
6.2	BRANCH CIRCUIT CONDUCTORS & OVERCURRENT PROTECTION DEVICES				•
6.3	SWITCHES, RECEPTACLES, LIGHT FIXTURES & VISIBLE WIRING				•
6.4	GFCI / AFCI PROTECTION, POLARITY & GROUNDING OF RECEPTACLES				•
6.5	OPERATION OF GFCI / AFCI CIRCUIT BREAKERS	•			
6.6	LOCATION OF MAIN AND DISTRIBUTION PANELS	•			
6.7	SMOKE/HEAT ALARMS				•
6.8	CARBON MONOXIDE ALARMS				•
		IN	NI	NP	RE

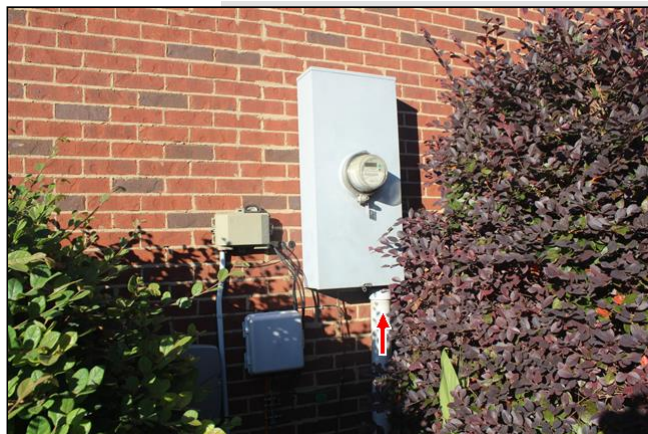
IN= Inspected, NI= Not Inspected, NP= Not Present, RE= Repair



Comments:

6.0 Condition(s) observed with Service Entrance Lines:

The service entry conduit entering the meter can has settled and the conduit has begun detaching from the box.



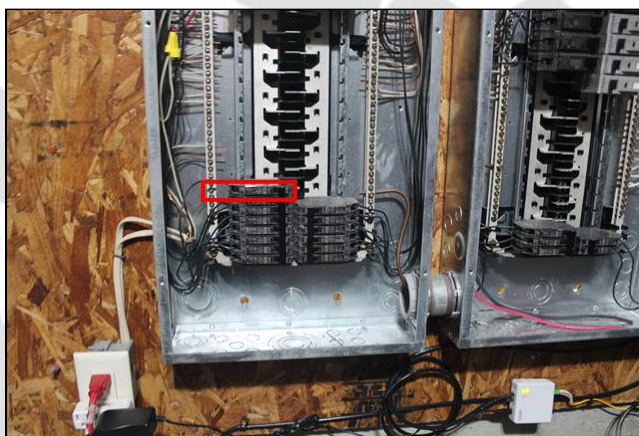
6.0 Item 1(Picture)



6.0 Item 2(Picture)

6.2 Condition(s) observed with Branch Circuit Conductors & Overcurrent Protection Devices:

A conductors size shall not be less than the ampere rating of the circuit unless otherwise permitted in the NEC.



6.2 Item 1(Picture)

205-607-2082

REDMOUNTAININSPECTIONS.COM

f i / RMIBHAM

6.3 (1) Condition(s) observed with Switches, Receptacles, Light Fixtures & Visible Wiring:

Exterior outlets should be sealed to wall with a clear sealant at the top and sides to prevent water entry.



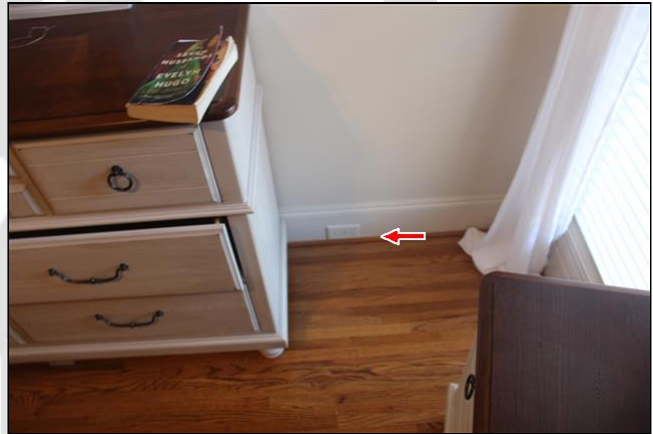
6.3 Item 1(Picture)



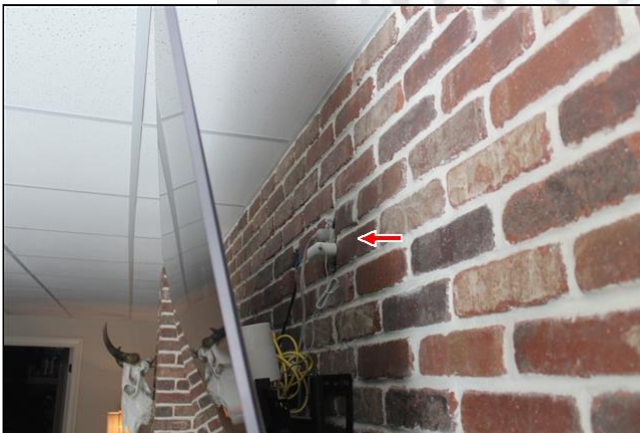
6.3 Item 2(Picture)

6.3 (2) Loose receptacle(s) will need to be secured.

6.3 Item 3(Picture)



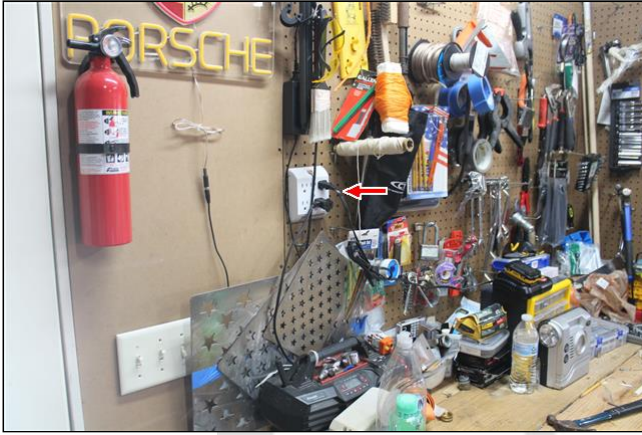
6.3 Item 4(Picture)



6.3 Item 5(Picture)




6.3 Item 6(Picture)

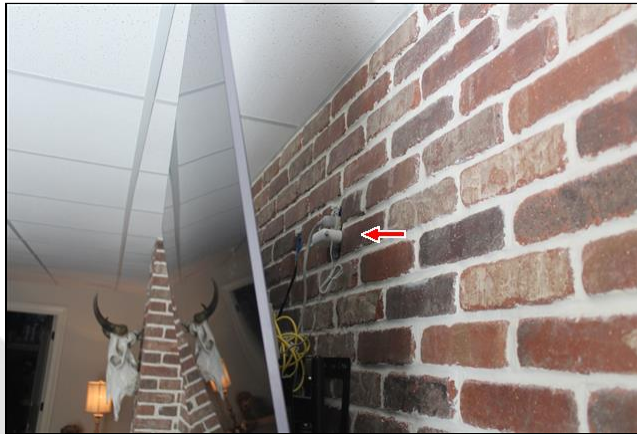


6.3 Item 7(Picture)



6.3 Item 8(Picture)

 **6.3 (3)** Damaged or missing outlet / junction covers will need to be replaced.



6.3 Item 9(Picture)

 **6.4** Condition(s) observed with GFCI / AFCI Protection, Polarity & Grounding of Receptacles:

One or more GFCI (Ground Fault Circuit Interrupter) receptacles did not trip/reset when tested (defective/missing).

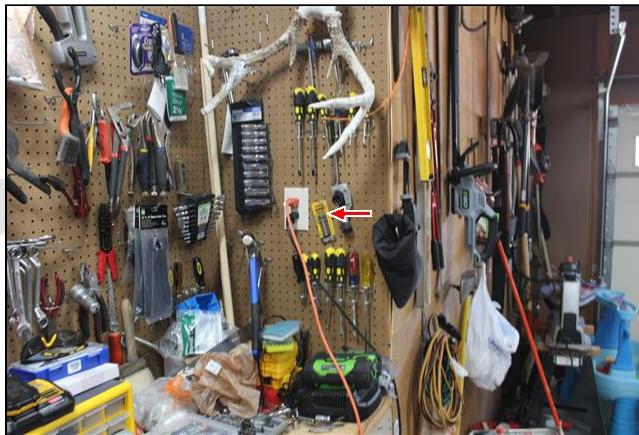
- Garage



6.4 Item 1(Picture)



6.4 Item 2(Picture)



6.4 Item 3(Picture)

6.6 The main and sub panel boxes are located at the basement.



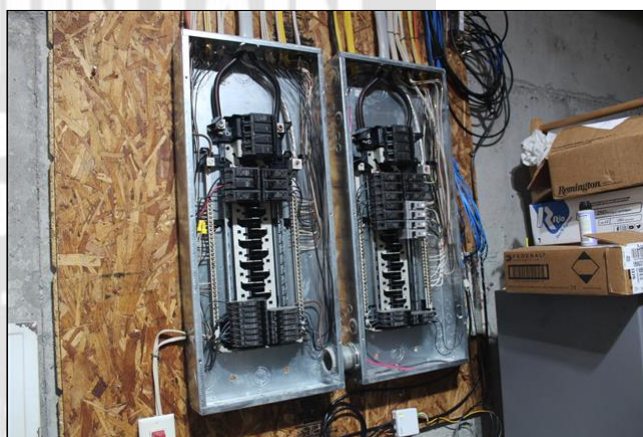
6.6 Item 1(Picture)



6.6 Item 2(Picture)



6.6 Item 3(Picture)



6.6 Item 4(Picture)

 **6.7** Condition(s) observed with Smoke/Heat Alarms:

Smoke alarms have a limited life expectancy. The National Fire Protection Association (NFPA) recommends every alarm be replaced after 10 years and that batteries be replaced every six months (when applicable). Due to the age of the installed Smoke/Heat Alarms, the alarms should be replaced for increased fire safety.

Placement of Smoke Alarms: In a typical home fire, occupants have just minutes to escape. And because smoke in one area may not reach a smoke alarm in another, the National Fire Protection Association (NFPA) recommends placement of at least one smoke alarm on every level of the home (including basements), in every bedroom, and outside each sleeping area.



6.7 Item 1(Picture)

6.8 Condition(s) observed with Carbon Monoxide Alarms:

Natural Gas in homes has an incredible safety record. It is lighter than air, meaning that leaks and accidental discharges of gas dissipate very quickly and are rarely combustible. While many gas appliances have safety switches to prevent fires and Carbon Monoxide poisoning, there is a risk of Carbon Monoxide poisoning whenever combustible gases are involved. It is recommended that Carbon Monoxide Alarms be installed according to current safety specifications.

It is also recommended that Carbon Monoxide Alarms be installed according to current safety specifications due to this home having an attached garage.

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items identified in this report should be considered or repaired before purchase. **Recommendation:** A qualified electrical contractor should inspect further and make corrections to item(s) identified in this inspection report as well as any other related condition discovered while performing repairs. Injury or death may result from attempts at correction by those without the proper training and qualifications.

205-607-2082

REDMOUNTAININSPECTIONS.COM

f / RMIBHAM

7. Fireplace

The inspector shall inspect: The fireplace, and open and close the damper door if readily accessible and operable. Hearth extensions and other permanently installed components. And report as in need of repair deficiencies in the lintel, hearth and material surrounding the fireplace, including clearance from combustible materials.

The inspector is not required to: Inspect the flue or vent system. Inspect the interior of chimneys or flues, fire doors or screens, seals or gaskets, or mantels. Determine the need for a chimney sweep. Operate gas fireplace inserts. Light pilot flames. Determine the appropriateness of such installation. Inspect automatic fuel feed devices. Inspect combustion and/or make-up air devices. Inspect heat distribution assists whether gravity controlled or fan assisted. Ignite or extinguish fires. Determine draft characteristics. Move fireplace inserts, stoves, or firebox contents. Determine adequacy of draft, perform a smoke test or dismantle or remove any component. Perform an NFPA inspection.

Styles & Materials

Types of Fireplaces:

Non-Vented Natural Gas Fireplace

		IN	NI	NP	RE
7.0	GAS/LP FIRELOGS AND FIREPLACES	•			
		IN	NI	NP	RE

IN= Inspected, NI= Not Inspected, NP= Not Present, RE= Repair

Comments:

7.0 Condition(s) observed with Gas / LP Firelogs and Fireplaces:

Non vented gas logs sets are extremely safe when properly operated. You should familiarize yourself with the proper operation of the log set installed by reviewing the manufacturers operators manual.



7.0 Item 1(Picture)



7.0 Item 2(Picture)

The Fireplace system of this home was inspected and reported on with the above information but it is incomplete. The liner or the safety aspect of the liner was not inspected. The inspection is not meant to be technically exhaustive and does not substitute an inspection by a certified chimney sweep. The inspection does not determine the safety of the fireplace in terms of the condition of liner or the absence of a liner. Any comments made by the inspector does not remove the need for an inspection by a certified chimney sweep. Chimneys should be inspected at least annually. Please be aware that the inspector has your best interest in mind. Any repair items identified in this report should be considered or repaired before purchase. **Recommendation:** A qualified contractor should inspect further and make corrections to item(s) identified in this inspection report as well as any other related condition discovered while performing repairs.

8. Interior

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

The inspector shall: Open and close a representative number of doors and windows. Inspect the walls, ceilings, steps, stairways, and railings. Inspect garage doors and garage door openers by operating first by remote (if available) and then by the installed automatic door control. And report as in need of repair any installed electronic sensors that are not operable or not installed at proper heights above the garage door. And report as in need of repair any door locks or side ropes that have not been removed or disabled when garage door opener is in use. And report as in need of repair any windows that are obviously fogged or display other evidence of broken seals.

The inspector is not required to: Inspect paint, wallpaper, window treatments or finish treatments. Inspect central vacuum systems. Inspect safety glazing. Inspect security systems or components. Evaluate the fastening of countertops, cabinets, sink tops and fixtures, or firewall compromises. Move furniture, stored items, or any coverings like carpets or rugs in order to inspect the concealed floor structure. Move drop ceiling tiles. Inspect or move any household appliances. Inspect or operate equipment housed in the garage except as otherwise noted. Verify or certify safe operation of any auto reverse or related safety function of a garage door. Operate or evaluate security bar release and opening mechanisms, whether interior or exterior, including compliance with local, state, or federal standards. Operate any system, appliance or component that requires the use of special keys, codes, combinations, or devices. Operate or evaluate self-cleaning oven cycles, tilt guards/latches or signal lights. Inspect microwave ovens or test leakage from microwave ovens. Operate or examine any sauna, steam-jenny, kiln, toaster, ice-maker, coffee-maker, can-opener, bread-warmer, blender, instant hot water dispenser, or other small, ancillary devices. Inspect elevators. Inspect remote controls. Inspect appliances. Inspect items not permanently installed. Examine or operate any above-ground, movable, freestanding, or otherwise non-permanently installed pool/spa, recreational equipment or self-contained equipment. Come into contact with any pool or spa water in order to determine the system structure or components. Determine the adequacy of spa jet water force or bubble effect. Determine the structural integrity or leakage of a pool or spa.

Styles & Materials

Ceiling Materials:

Drywall
Suspended Ceiling Panels

Wall Material:

Drywall
Paneling
Wood

Floor Covering(s):

Carpet
Engineered Flooring
Hardwood T&G
Tile

Interior Doors:

Wood
Raised panel
Hollow core

Window Types:

Thermal / Insulated
Single Hung
Tilt Feature
Picture
Vinyl

Cabinetry:

Wood

Countertop:

Laminate
Solid Surface

RED MOUNTAIN
INSPECTIONS

205-607-2082

REDMOUNTAININSPECTIONS.COM

  / RMIBHAM

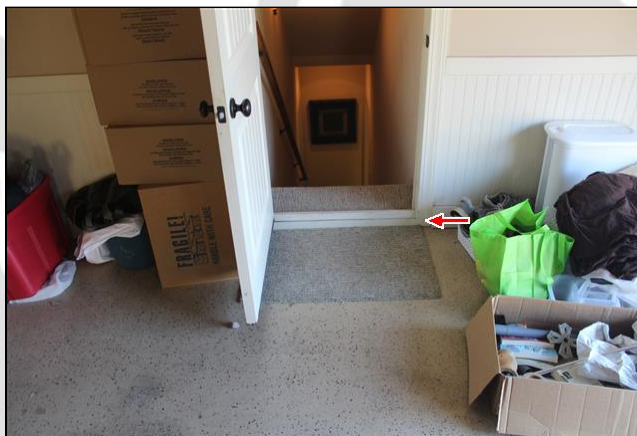
		IN	NI	NP	RE
8.0	CEILINGS	•			
8.1	WALLS	•			
8.2	FLOORS	•			
8.3	STEPS, STAIRWAYS, BALCONIES & RAILINGS	•			
8.4	COUNTERS & CABINETS	•			
8.5	DOORS	•			
8.6	WINDOWS	•			
8.7	MOLD SCREENING	•			
8.8	GENERAL INFORMATION	•			
		IN	NI	NP	RE

IN= Inspected, NI= Not Inspected, NP= Not Present, RE= Repair

Comments:

8.3 Condition(s) observed with Steps, Stairways, Balconies & Railings:

The inspector observed a slight step-up at the basement entry door threshold which has been noted for your reference. Please use caution when traversing this entryway into the basement.



8.3 Item 1(Picture)

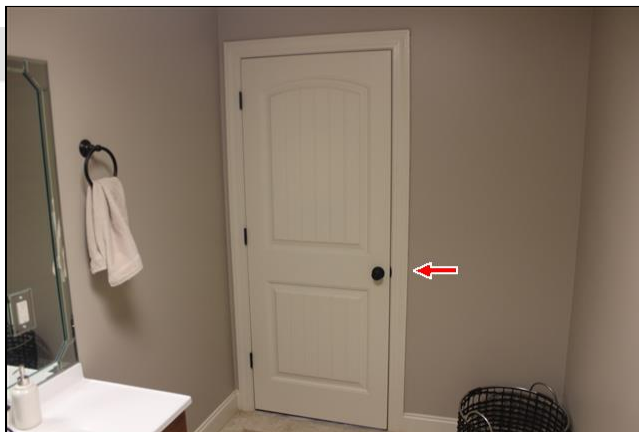
205-607-2082

REDMOUNTAININSPECTIONS.COM

f i / RMIBHAM

8.5 Condition(s) observed with Doors:

One or more interior doors needs strike/latch/hinge adjustments or missing hardware installed as to shut/latch properly. This is a maintenance issue and is for your information.



8.5 Item 1(Picture)

8.6 Condition(s) observed with Windows:

Condensation visible between the glass at a double-pane windows indicates that the desiccant strip designed to absorb moisture from the space between the panes has become saturated and will no longer prevent condensation from forming. In some situations repair is possible, but if irreparable damage has occurred, the window will need to be replaced to correct.



8.6 Item 1(Picture)

8.7 Condition(s) observed with Mold / Moisture:

Inspector did not observe any indications of fungal growth inside the home at time of inspection. Humidity levels which consistently exceed 55%-60% can allow for surface fungal growth at the interior. The inspector recommends monitoring this condition using a humidity gauge and installing a dehumidifier inside this space (if needed) to help control moisture levels at the interior of the home.

8.8 Condition(s) observed at the Interior:

Personal storage items stored inside the home restricted access in areas, however no indications of concern were observed at time of inspection.



8.8 Item 1(Picture)

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items identified in this report should be considered or repaired before purchase. **Recommendation:** A qualified contractor should inspect further and make corrections to item(s) identified in this inspection report as well as any other related condition discovered while performing repairs.

**RED MOUNTAIN
INSPECTIONS**

205-607-2082

REDMOUNTAININSPECTIONS.COM

f i / RMIBHAM

9. Insulation

The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Styles & Materials

Attic Insulation:	Ventilation:	Exhaust Fans:
Blown-in Fiberglass	Soffit Vent(s)	Fan Only
Fiberglass Batt	Turbine Vent(s)	
Dryer Power Source:	Dryer Vent:	
220 Electric	Rigid Metal Tubing	

		IN	NI	NP	RE
9.0	INSULATION IN ATTIC	•			
9.1	VENTILATION OF ATTIC & FOUNDATION AREAS	•			
9.2	VENTING SYSTEMS (Kitchens, Baths & Laundry)				•
9.3	INSULATION				•
		IN	NI	NP	RE

IN= Inspected, NI= Not Inspected, NP= Not Present, RE= Repair

Comments:

9.0 Condition(s) observed with Insulation in Attic:

Attic insulation is about 12 inches thick or 30 R Value.



9.0 Item 1(Picture)



9.0 Item 2(Picture)

9.2 Condition(s) observed with Venting Systems:

Bathrooms, water closet compartments and other similar rooms shall be provided with an operable window or mechanical ventilation which was not present in the basement bathroom at time of inspection.



9.2 Item 1(Picture)

9.3 Condition(s) observed with Insulation:

Fiberglass insulation is non-combustible. Kraft and standard foil facings are combustible and should not be left exposed. The warning printed on insulation states that the facing will burn, do not leave exposed and to cover with an approved building material. Corrections should be performed for fire safety.



9.3 Item 1(Picture)



9.3 Item 2(Picture)

205-607-2082

REDMOUNTAININSPECTIONS.COM

f / RMIBHAM



9.3 Item 3(Picture)

The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items identified in this report should be considered or repaired before purchase.

Recommendation: A qualified contractor should inspect further and make corrections to item(s) identified in this inspection report as well as any other related condition discovered while performing repairs.



RED MOUNTAIN
INSPECTIONS

205-607-2082

REDMOUNTAININSPECTIONS.COM

f i / RMIBHAM

10. Garage

Styles & Materials

Garage Door Type:	Garage Door Material:	Auto-opener Manufacturer:
4 Automatic	Metal Insulated Light Inserts	LIFT-MASTER

		IN	NI	NP	RE
10.0	GARAGE CEILINGS	•			
10.1	GARAGE WALLS (INCLUDING FIREWALL SEPARATION)	•			
10.2	GARAGE FLOOR	•			
10.3	GARAGE DOORS	•			
10.4	OCCUPANT DOOR FROM GARAGE TO INSIDE HOME	•			
10.5	GARAGE DOOR OPERATORS (Report whether or not doors will reverse)	•			
		IN	NI	NP	RE

IN= Inspected, NI= Not Inspected, NP= Not Present, RE= Repair

Comments:

10.0 Condition(s) observed with Garage Ceilings:

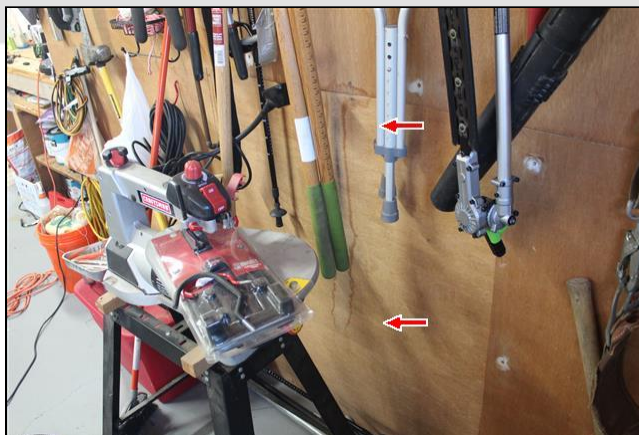
Observed hairline cracks at the interior sheetrock ceiling, however did not observe any indications of concern associated with these cracks. A qualified person should prep, prime, paint as desired.



10.0 Item 1(Picture)

10.1 Condition(s) observed with Garage Walls:

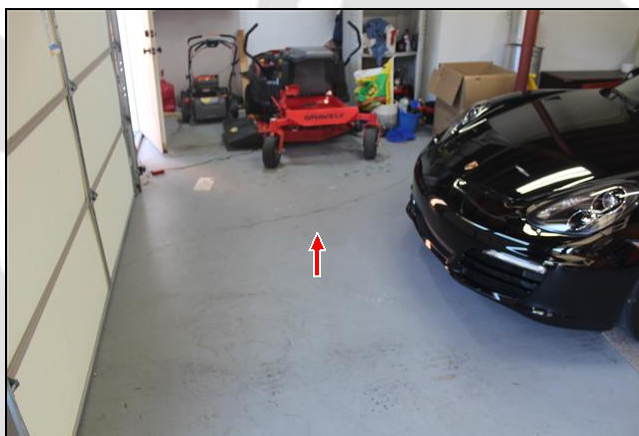
Observed previous water stains at the interior paneling on the rear wall, however this area was confirmed dry using a moisture meter at time of inspection. This condition appears as result of condensations from the HVAC refrigerant lines in this area. This condition should be monitored and corrections performed or insulation added if needed.



10.1 Item 1(Picture)

10.2 Condition(s) observed with Garage Floor:

Observed cracking in the slab flooring at the garage, however we did not observe any structural concerns associated with these cracks at time of inspection.



10.2 Item 1(Picture)

10.5 Condition(s) observed with Garage Door Operators:

The sensors are in place for the garage door(s) and will reverse the door.

The garage was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, boxes, or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items identified in this report should be considered or repaired before purchase. **Recommendation:** A qualified contractor should inspect further and make corrections to item(s) identified in this inspection report as well as any other related condition discovered while performing repairs

11. Appliances

Styles & Materials

Dishwasher Brand:	Range/Oven/Cooktops:	Exhaust/Range hood:
LG	LG	Vented Microwave
Built in Microwave:	Refrigerator:	Disposer Brand:
LG	LG	Not Present
Whole House Vacuum:	Built In Gas Grill:	
Vacu Maid	MHP	

		IN	NI	NP	RE
11.0	DISHWASHER	•			
11.1	RANGES/OVENS/COOKTOPS	•			
11.2	RANGE HOOD	•			
11.3	MICROWAVE COOKING EQUIPMENT (Built-In)	•			
11.4	REFRIGERATOR	•			
11.5	FOOD WASTE DISPOSER			•	
11.6	WHOLE HOUSE VACUUM	•			
11.7	BUILT IN GAS GRILL	•			
		IN	NI	NP	RE

IN= Inspected, NI= Not Inspected, NP= Not Present, RE= Repair

The built-in kitchen appliances were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items identified in this report should be considered or repaired before purchase. **Recommendation:** A qualified contractor should inspect further and make corrections to item(s) identified in this inspection report as well as any other related condition discovered while performing repairs.



12. Lawn Sprinklers

Styles & Materials

Sprinkler Timer Manufacturer:

Rain Bird

		IN	NI	NP	RE
12.0	SPRINKLER OPERATION		•		
		IN	NI	NP	RE

IN= Inspected, NI= Not Inspected, NP= Not Present, RE= Repair

Comments:

12.0 We did not test the sprinkler system since this is outside the scope of our standard home inspection. Further evaluation of the sprinkler system should be performed as desired.



12.0 Item 1(Picture)



INVOICE

Red Mountain Inspections LLC

504 Cattail Circle

Gardendale, AL 35071

205-607-2082

Inspected By: Chad M. Allen

Inspection Date: 10/10/2022

Customer Info:	Inspection Property:
Owrfamlez Groen	2013 Red Mountain Road Trussville AL 35173
Customer's Real Estate Agent: Worken Tufindurhome	

Inspection Fee:

Service	Price	Amount	Sub-Total
Essential Home Inspection	425.00	1	425.00
			Tax \$0.00
			Total Price \$425.00

Payment Method: Credit Card

Payment Status: Paid

**RED MOUNTAIN
INSPECTIONS**

205-607-2082

REDMOUNTAININSPECTIONS.COM

f i / RMIBHAM